

Application Reference: 20/01118/OUT

Land Adjacent To 37A Church Street, Appleby Magna

Erection of one detached dwelling and associated garage (outline - details of access included)

Local Character Assessment

This outline planning application is for the erection of one dwelling with a garage. The only matter for consideration at this stage is access. Whilst the scale and appearance of the proposed property would be determined at Reserved Matters stage the following information has been provided to give an indication of what scale could be reasonable in this location given the character of neighbouring development.

The application site location is indicated in yellow below:



The Conservation area boundary is shown in blue in the image to the left.

Didcott Way

Didcott Way is located directly to the east of the application site and is separated from the proposed development by a brook and a boundary of mature trees. The closest properties on Didcott Way are all large, two storey detached dwellings. There is an average footprint of at least 100 square metres taken from these neighbouring properties.



Church Street

There are a range of property types and sizes in Church Street. The immediately adjacent neighbouring dwellings primarily consists of two and three storey terraces that vary in age, character and design. The average footprint of the neighbouring terraced dwellings is approximately 50 square metres. Whilst some of the plots sizes might be modest, compared to the application site, several properties are fairly tall due to their traditionally high pitched roofs.



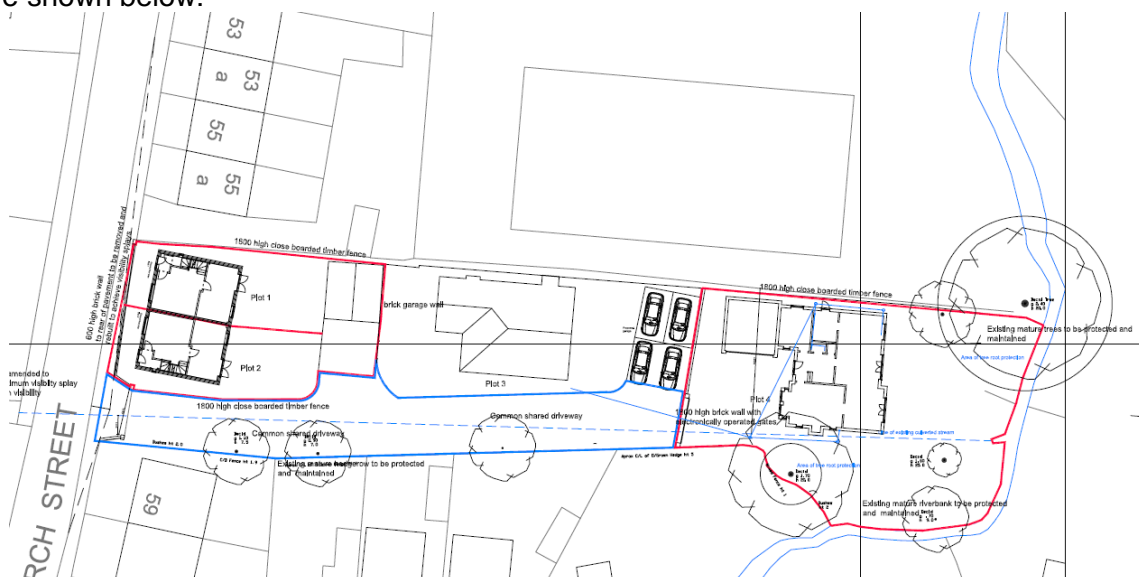


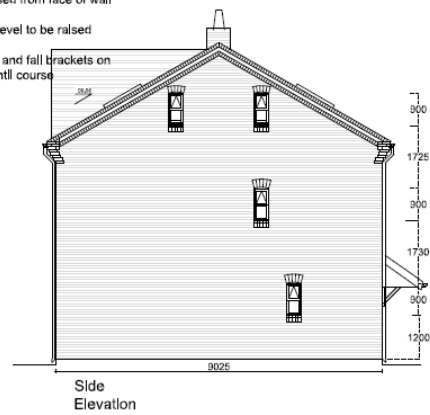
The existing dwelling on the application site (No.37a) is also quite considerable in scale.

Given the site's set back location from the frontage of Church Street it is considered that the proposed dwelling would need to reflect the scale and character of the existing dwelling.



The image above shows an area highlighted in blue where a new dwelling has been recently constructed. In 2015 (15/00647/FUL) planning permission was granted for 3 dwellings on land to the south of the application site, including the dwelling highlighted in blue. This land is in separate ownership to the current application. The approved site plan and elevation drawings are shown below:

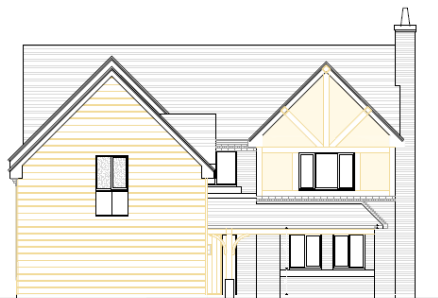




Brick Terra 65 mm Trentino
 Roof tiles smooth grey Marley Ashmore
 Front door Painted Composite panels
 Windows PVC White
 Arched brickheads and sills raised from face of wall
 12mm
 Brick detail course at first floor level to be raised
 brickwork 12mm
 Gutters to be supported on rise and fall brackets on
 raised brickwork with raised dentil course

Drawing number 15/298/33a

Rev	Desc	Description
1	15/298/33a	Revisions added to match design alterations and to 15/298/33a



Proposed front elevation



Proposed side elevation

Brick Terra 65 mm Trentino
 Roof tiles smooth grey Marley Ashmore
 Timber cladding Horizontal cedar cladding over cavity
 blockwork walls.
 Render panels Cream monocoche render system over
 cavity blockwork walls.
 Front door Engineered oak
 Windows PVC coloured heritage sage green



Proposed rear elevation



Proposed side elevation



Client	Mr S Whitehead
Job number & title	238/15 57 Church Street Appley Magna Leicestershire DE12 7BB
Date	29/06/2015
Scale	1:200
Drawn	IS
Checked	IS
Drawing number	15/298/33a
Drawing title	Proposed Plot 4 Elevations

Use drawings only for construction from this plan.
 The drawings are not to be used for any other purpose
 without the written consent of the architect.
 Use drawings only for construction from this plan.

It is also possible to see one of these dwellings (now known as Hollybrook House) from the public highway when looking towards the application site and also in the same view as No.37a Church Street.



Hollybrook House was approved with a ridge height of 8.7 metres, a frontage width of 13 metres and a footprint of 180 square metres. No.37a has a width of 12 metres and a footprint of approximately 200 square metres. As such both of these dwellings are large in scale.

Conclusion

Whilst it is noted that there are some smaller properties in the locality it is considered that this application proposal is read in the same visual context as No's 37a Church Street and Hollybrook House, due to these properties all having a set back location from the public highway.

Given the large scale of the 2015 recently approved dwellings, and the generous size of the existing dwelling, it is considered that it would be unreasonable for the Local Planning Authority to restrict the scale of a reserved matters application to anything smaller than 37A Church Street or Hollybrook House.

If committee are minded to approve this application then Officers advise that a note to applicant is attached to identify an acceptable scale that would be expected at reserved matters, in accordance with this character assessment.